

AUG 14 2023



**Waupaca County
Planning & Zoning Office**

811 Harding St
Waupaca WI 54981-2087
Phone: 715-258-6255 Fax: 715-258-6212
www.co.waupaca.wi.us

Conditional Use Permit Application Packet

Conditional Use Packet Includes:

- Checklist
- Conditional Use Application
- Town Recommendation Form for Conditional Use (2 pages)
- Conditional Use Standards and Diagram of Plans

PRIOR TO SUBMITTING YOUR CONDITIONAL USE PERMIT APPLICATION:

- Consult Planning & Zoning Staff regarding your proposal
- Complete the Conditional Use Permit Application with the Waupaca County Planning & Zoning Office and submit the following along with the Application:
 - Detailed explanation and plans showing the location of the proposed area of use. Plans must be drawn to scale showing all dimensions necessary to determine compliance with standards. (i.e. parking spaces, driveway area, building size(s), building height(s), and setbacks from all property lines) Please see attached and incorporated site plan and ALTA survey.
 - Where the property is not owned by the applicant, a letter must be attached giving consent of the owner to apply for the Conditional Use Permit.
 - Application Fee (payable to Waupaca County) "After the Fact" fee is double ** Check with your Township to see if they require an additional fee. *
 - Once the Conditional Use Permit application is complete, the Waupaca County Planning & Zoning Office will forward it to the Town.
- Attend Town Planning Commission Meeting
 - Have Plan Commission complete applicable portions of the Town Recommendation Form
- Attend Town Board Meeting
 - Have Town Board complete applicable portions of the Town Recommendation Form
- After the Town meetings, submit to Waupaca County Planning & Zoning Office
 - Town Recommendation Form

NOTE: This requires a public hearing, which are scheduled as needed, on a Thursday morning. Neighbors within 300' of the property are notified and the Waupaca County official newspaper carries the notice for 2 weeks prior to the hearing, so it can take 3 weeks or more to schedule a hearing. Incomplete applications will not be scheduled.

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Waupaca County Conditional Use Permit Application

Fee _____ Check # _____

ATF

Certain uses are of such nature or their effects are so dependent upon specific circumstances as to make impractical the determination in advance of where, when, or under what conditions they should be permitted. Conditional uses are land uses listed as such in each zoning district. They may be established only upon approval by the Planning & Zoning Committee. In order to avoid any delays, please complete all parts of this application. Incomplete applications will not be processed.

Applicant Information (check the box for who will be appearing at the public hearing)

Owner: E-mail Address: rbrooks1855@gmail.com

~~Last Name:~~ Brooks Farms Dairy, LLC ~~First Name:~~ Attn: Ron Brooks Phone #: 920-636-8991

Address: N1757 County Rd. A City: Waupaca State & Zip: WI 54981

If you wish to appoint an agent to speak at the hearing, please complete the following:

Agent: E-mail Address: _____

Last Name: _____ First Name: _____ Phone #: _____

Address: _____ City: _____ State & Zip: _____

Property Information:

Parcel Number: 12 - 09 - 43 - 1 - Size of Parcel: 72.2 ^{Approximately} acres Physical Address: N1757 County Road A, Waupaca, WI 54981

Location: (Gov. Lot _____ or _____¹/₄, _____¹/₄), Section 9, T 21 N, R 12 E, Town of Lind

Current Zoning District: Agricultural Current Use and Improvements: Dairy farm and unimproved auxiliary
Enterprise (AE) land to dairy farm.

Proposed Project:

Conditional Use requested per Section 6.10 Waupaca County Zoning Ordinance. Proposed Use: (Include information from Page 2 for General/design and/or operational standards as it pertains to the specific zoning districts standards.)

A manure lagoon ("Lagoon") supporting farming activities on the farm as described and depicted in the attached and incorporated site plan.

Are there current non-conforming structures and/or uses on the property? Yes No If "Yes", please describe:

Once the complete application has been received by the Waupaca County Planning & Zoning Office and processed, you will be notified of the date and time that the Planning & Zoning Committee will conduct an inspection of the property and hold the subsequent hearing at the Waupaca County Courthouse. You or your agent are required to attend the hearing.

The signing of this application grants permission to allow free and unlimited access to the project site during normal working hours to any Planning & Zoning Office representative acting in an official capacity. Property owner signature is required. You or your agent are required to attend the hearing.

Property Owner Signature *Ron Brooks* Date _____
Ron Brooks (Aug 7, 2018 11:23 AM)

Agent Signature: _____ Date _____

CONDITIONAL USE STANDARDS AND DIAGRAM OF PLANS

GENERAL STANDARDS: General performance standards and specific design standards for approval of a conditional use are provided for each zoning district. Below are general standards that the Planning & Zoning Committee will address in review of an application for a conditional use. These conditions include, but are not limited to, specification of:

1. Minimum parcel size
2. Parking availability
3. Minimum setbacks
4. All state approvals required for public buildings and/or made part of the zoning permit
5. Attractiveness or physical appearance
6. Ingress/Egress
7. Maintenance
8. Safety of nearby roads
9. Traffic
10. Waste Management
11. Erosion control standards
12. The period of time in which all or part of the use may be permitted
13. Landscaping and planting screens
14. Operational controls
15. Deed restrictions
16. Location of structure, docks, piers, or signs
17. Type of construction
18. The obtaining of other permits required by the State of Wisconsin, Federal Government Agencies, and any other Waupaca County Ordinances as a condition of the conditional use permit, must be completed prior to the issuance of the Conditional Use Permit.

Please include information in the application on these general standards as they would apply. An applicant must demonstrate that the proposed project complies with the standards noticed for the appropriate zoning district. The decision to grant or deny a conditional use permit is discretionary. (i.e. permit may be denied if the project cannot be tailored to a site without significant harm to ordinance standards and objectives) Please see attached and incorporated site plan.

Where the zoning district contains no standards unique to that district or use, the following standards shall apply:

1. That granting of a conditional use will not violate the spirit or intent of the zoning ordinance.
2. That the use allowed would not be contrary to the public health, safety, general welfare, or which would be substantially adverse to property values in the neighborhood affected.
3. That the use shall not constitute a nuisance by reason of noise, dust, smoke, odor, or other similar factors.

Diagram of Plans: In most applications a diagram of plans must be submitted. This diagram must provide sufficient detail for review of the standards that may apply to the application. This may include locations of existing or proposed buildings, accommodations for parking areas, proximity to navigable waters, floodplain delineation, contour lines for review of excavations and erosion control measures, detailed cross sections, etc... Please see attached and incorporated site plan.

Although it may not be necessary in all applications, a survey by a registered land surveyor is recommended for showing detail. Detailed proposals assist the Planning & Zoning Committee in the review of the conditional use application. As noted above, the applicant must demonstrate that the proposed use complies with that standards noted for the zoning district. Please see attached ALTA Survey.

Once the complete application has been received by the Waupaca County Planning & Zoning Office and processed, you will be notified of the date and time that the Planning & Zoning Committee will conduct an inspection of the property and hold the subsequent hearing at the Waupaca County Courthouse. You or your agent are required to attend both the on-site and hearing.

AUG 14 2023

TOWN RECOMMENDATION FORM

For Waupaca County Conditional Use Application

THIS TOWN RECOMMENDATION FORM MUST BE SUBMITTED TO THE PLANNING & ZONING OFFICE WITH THE CONDITIONAL USE APPLICATION. INCOMPLETE APPLICATIONS MAY BE DELAYED.

Petitioner Information

Owner: _____ E-mail Address: rbrooks1855@gmail.com

Last Name: Brooks Farms Dairy, LLC First Name: Alln: Ron Brooks Phone #: 920-636-8991

Address: N1757 County Rd. A City: Waupaca State & Zip: WI 54981

If you wish to appoint an agent to speak at the hearing, please complete the following:

Agent: _____ E-mail Address: _____

Last Name: _____ First Name: _____ Phone #: _____

Address: _____ City: _____ State & Zip: _____

Property Information

Parcel Number: 12 - 09 - 43 - 1 - Size of Parcel: Approximately 72.2 acres

Location: (Gov. Lot _____ or _____ $\frac{1}{4}$, _____ $\frac{1}{4}$), Section 9, T 21 N, R 12 E, Town of Lind

Zoning Information

Current Zoning District: (check)

- | | |
|-------------------------------------------------------------------------------------|------------------------------------------------------------------|
| <input type="checkbox"/> Private Recreation & Forestry (PVRF) | <input type="checkbox"/> Sewered Residential Multi-Family (SR-M) |
| <input type="checkbox"/> Public Recreation & Forestry (PURF) | <input type="checkbox"/> Planned Residential Development (PD) |
| <input checked="" type="checkbox"/> Agriculture Enterprise (AE) | <input type="checkbox"/> Rural Commercial Neighborhood (RC-N) |
| <input type="checkbox"/> Agriculture Retention (AR) | <input type="checkbox"/> Rural Commercial General (RC-G) |
| <input type="checkbox"/> Agriculture & Woodland Transition (AWT) | <input type="checkbox"/> Rural Industrial General (RI-G) |
| <input type="checkbox"/> Rural Residential (RR) | <input type="checkbox"/> Rural Industrial Intensive (RI-I) |
| <input type="checkbox"/> Sewered Residential Single Family 10000 sq ft min. (SR-10) | |
| <input type="checkbox"/> Sewered Residential Single Family 20000 sq ft min. (SR-20) | |

For Parcel and Zoning Maps go to: http://public1.co.waupaca.wi.us/GISviewer/index.html?config=config_zoning.xml

What are the existing use(s) of adjacent lands to this parcel and are they compatible?

The adjacent lands are currently used as farm land. The proposed Lagoon will support the farm activities on the subject property consistent with the use of surrounding farm properties.

Is the proposal consistent with the Town vision statement as found in the Town Comprehensive Plan? Yes No

Explain:

The proposal is consistent with the Town of Lind's future vision as expressed by the goal statements in each comprehensive planning element (pg. 15 of Comprehensive Plan). The proposal will support the Town's goals by supporting the financial viability of the Town's agricultural resources.

Is the proposal consistent with the Town Goals, Objectives & Development Strategies as found in the Town Comprehensive Plan? Yes No (Please give detailed information including page numbers from the comprehensive plan supporting the recommendation) Explain:

The proposed Lagoon will support the continued operations of Brooks Farms Dairy by increasing the manure holding capacity on the Farm in addition to the existing manure lagoon. This increased manure holding capacity will support the Farm's efficiency and financial viability by reducing the Farm's reliance on imported fertilizers, supporting several Town Goals, Objectives & Development Strategies, including, but not limited to, Agricultural, Natural, and Cultural Goal 1 ("Maintain the viability, operational efficiency, and productivity of the Town's agricultural resources for current and future generations") and Economic Development Goal 1 ("Maintain, enhance, and diversify the economy consistent with other community goals and objectives in order to provide a stable economic base.").

If Applicable, please list recommended conditions for the Waupaca County Planning & Zoning Committee to consider.

Please attach any additional comments, minutes, or information further supporting the recommendation.)

Town Plan Commission

Recommend Approval Recommend Denial

_____ Date: _____
Plan Commission Chairperson

Town Board

Recommend Approval Recommend Denial

_____ Date: _____
Town Chairman

_____ Date: _____
Town Clerk

Please Note: Pursuant to Section 14.06 of the Waupaca County Zoning Ordinance, the Town has 45 days to provide a written recommendation on rezonings and conditional use permits to the Waupaca county Planning & Zoning Director. If the Director has NOT received a written recommendation within 45 days, the county review process will continue without Town feedback.

Remit along with application to: Waupaca County Planning & Zoning – 811 Harding St., Waupaca WI 54981







Conditional Use Permit Application - Brooks Farms Lagoon (7.28.23)

Final Audit Report

2023-08-07

Created:	2023-08-07
By:	Alexander Wrocklage (awrocklage@vanguardrenewables.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMkOX2LCNaDVloXmiW5YBaj4RhnOwykrQ

"Conditional Use Permit Application - Brooks Farms Lagoon (7.28.23)" History

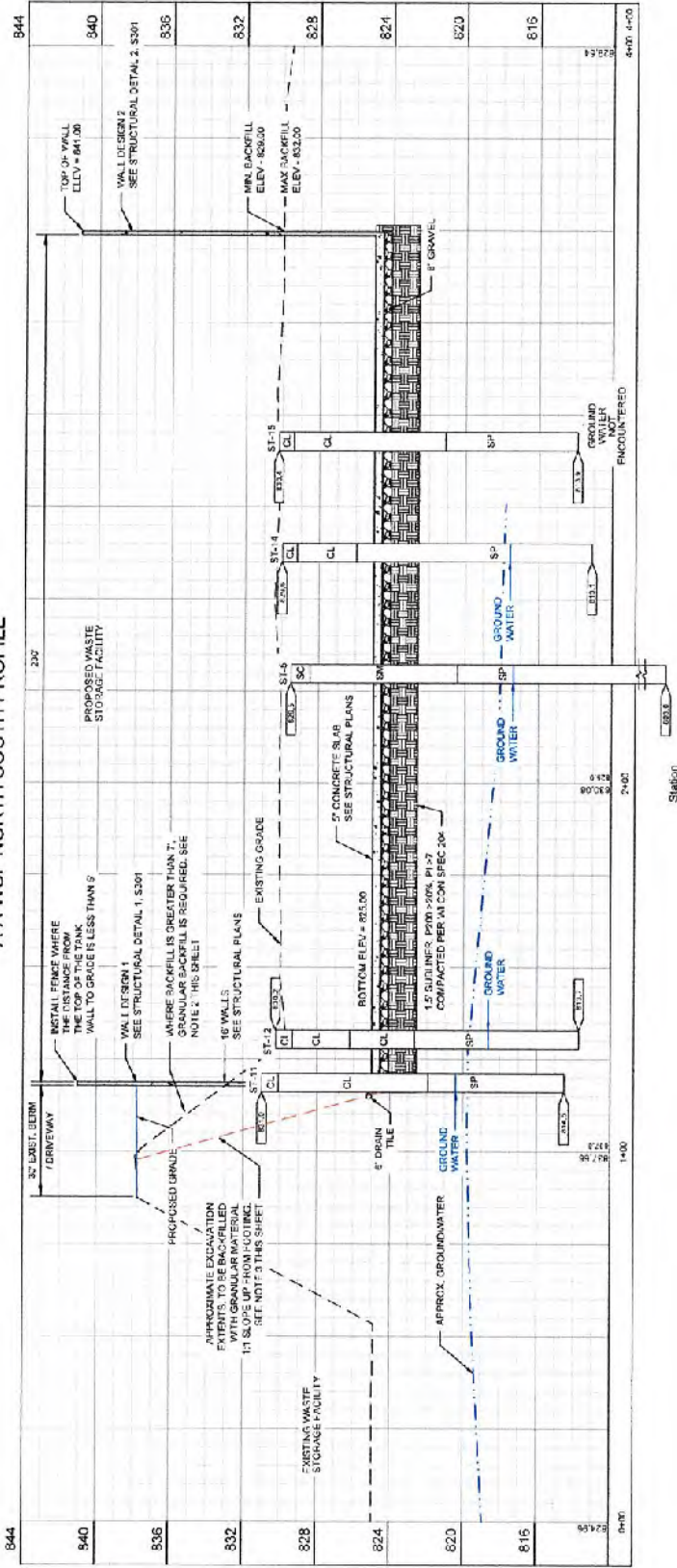
-  Document created by Alexander Wrocklage (awrocklage@vanguardrenewables.com)
2023-08-07 - 2:08:09 PM GMT
-  Document emailed to rbrooks1855@gmail.com for signature
2023-08-07 - 2:08:51 PM GMT
-  Email viewed by rbrooks1855@gmail.com
2023-08-07 - 4:20:24 PM GMT
-  Signer rbrooks1855@gmail.com entered name at signing as Ron Brooks
2023-08-07 - 4:21:03 PM GMT
-  Document e-signed by Ron Brooks (rbrooks1855@gmail.com)
Signature Date: 2023-08-07 - 4:21:05 PM GMT - Time Source: server
-  Agreement completed.
2023-08-07 - 4:21:05 PM GMT

Addendum A – Conditional Use Permit Application – Brooks Farms Dairy, LLC (new lagoon)

Brooks Farms Dairy has submitted an application for a condition use to construct a new lagoon on its dairy farm. The lagoon will be utilized by the farm and also in conjunction with the new proposed Vanguard Renewable anaerobic digester project, which has submitted separate applications for that project. The proposed lagoon will be a 12.9M gallon concrete walled lagoon that will serve as storage for the low-nutrient water that is a by-product of the anaerobic digestion process. This low-nutrient water will be utilized to irrigate crop fields on Brooks Farms. Increasing the storage capacity on Brooks Farms allows Brooks to collaboratively work with Vanguard, who is constructing, owning, and operating an anaerobic digester on a portion of the Brooks Farms property.

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A-A WSF NORTH SOUTH PROFILE



NOTES:
 1. WASTE STORAGE FACILITY WALL DESIGN VARIES BY BACKFILL REQUIREMENTS. SEE WORK DESIGN.
 2. WHERE BACKFILL ON WALL EXCEEDS 7' AND ON EAST SIDE BACKFILL EXCEEDS 4' ALL LOCATIONS WHERE BACKFILL ON WALL EXCEEDS 7' AND ON EAST SIDE BACKFILL EXCEEDS 4' SHALL BE REINFORCED WITH #4 REBAR @ 4' ON CENTER.
 3. EXCAVATION ALONG EXISTING WASTE STORAGE BERM TO EXTEND AT A MIN. 1' SLOPE FROM THE FOOTER TO THE TOP OF THE BERM, AND LEAVE AT LEAST 12" OF THE BERM IN PLACE.

PROJECT NO.	21752002	DATE	8/14/23
PROJECT NAME	2022 EQUIP WASTE STORAGE FACILITY		
CLIENT	BROOKS FARMS DAIRY, LLC		
LOCATION	WAUPACA COUNTY, WI		
DESIGNED BY	MSA	DRAWN BY	
CHECKED BY		DATE	
PROJECT MANAGER		DATE	
DATE PLOTTED	27/08/2023 10:48:32 AM	SCALE	AS SHOWN

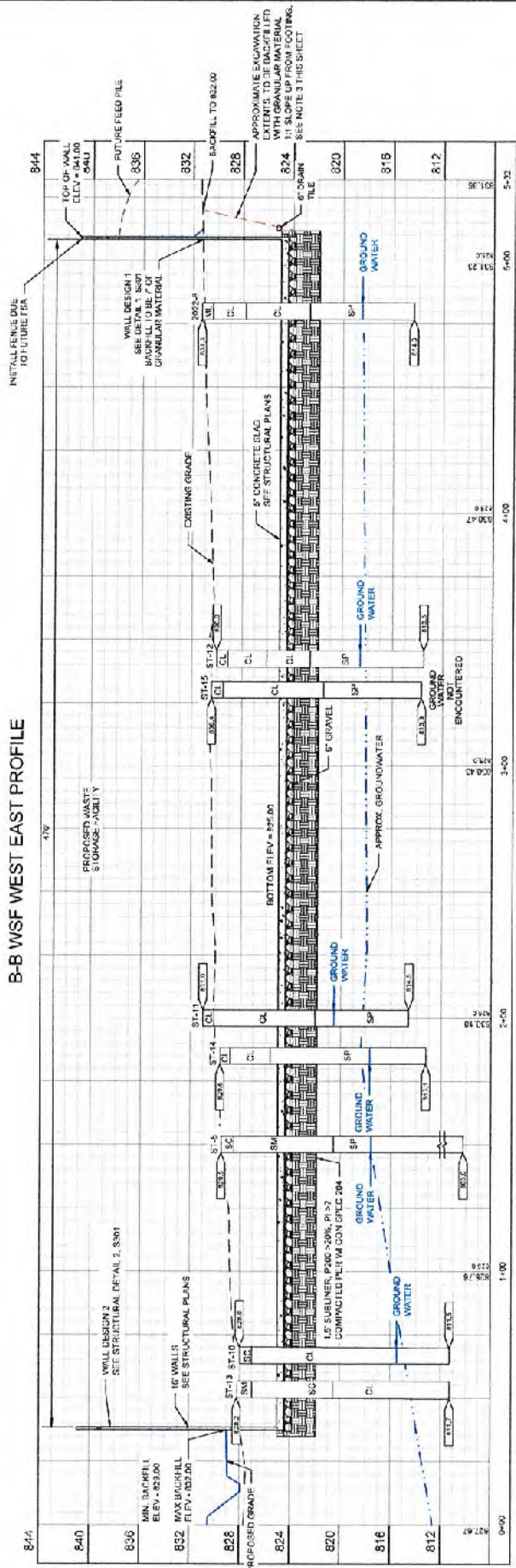


ENGINEERS ARCHITECTS & PLANNERS
 1000 WISCONSIN ST.
 WAUPACA, WI 53186
 (608) 795-0771

WSF PROFILE - NORTH SOUTH

CS301

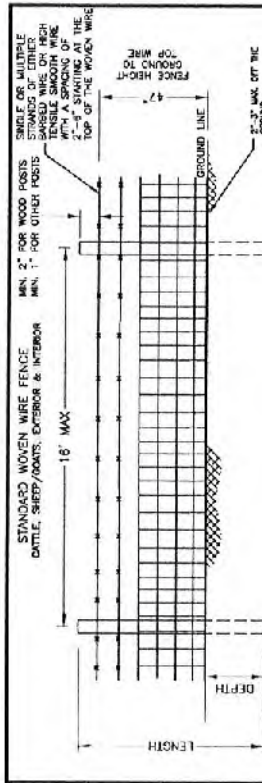
B-B WSF WEST EAST PROFILE



NOTES:
 1. STORED FLAMMABLE LIQUID REMAINERS BY BACKFILL REQUIREMENTS, LANT HANDBOOK AND CONCRETE CONTRACTOR TO COORDINATE APPROPRIATE PLACEMENT
 2. AT ALL LOCATIONS WHERE BACKFILL ON WALL EXCEEDS 7' AND ON EAST SIDE BACKFILL MUST BE GRANULAR FILL
 3. MIN. 15' GR. CC. 3/4\"/>

Station

PROJECT DATE:	2/17/2022	PROJECT:	WSF PROFILE - WEST EAST
DRAWN BY:		DATE:	8/8/22
CHECKED BY:		SCALE:	
DESIGNED BY:		PROJECT NO.:	217-20002
DATE:		DRAWING NO.:	CS8302
<p>2022 EQIP WASTE STORAGE FACILITY SMOOKS PARK DRIVE UNIT 11C WASHINGTON COUNTY, WI</p>			
<p>MSA ENGINEERING ARCHITECTURE & PLANNING 1000 W. WISCONSIN STREET, SUITE 200 MADISON, WI 53703 (608) 255-2771 www.msaeng.com</p>			



WIRE
 10-GAUGE OR HEAVIER FOR TOP AND BOTTOM STRANDS OF WOVEN WIRE
 14.5-GAUGE OR HEAVIER FOR INTERMEDIATE AND STAY WIRES. SPACED MAX. 12" APART
 WOVEN WIRE TO MEET ASTM A118
 100% WOODS
 BARBED WIRE MEETING PART I OF WCS #10-FENCES OR HIGH TENSILE WIRE MEETING PART II OF WCS #10-FENCES

LINE POSTS
 WOOD:
 DIA. = 4" MIN.
 DEPTH = 2' MIN.
 MIN. LENGTH = FENCE HEIGHT + POST DEPTH + 2"
 ALL WOOD SPECIES EXCEPT RED CEDAR, WHITE CEDAR, AND WHITE PINE SHALL BE TREATED BY A METHOD LISTED IN W CONSTRUCTION SPEC. #10-FENCES.

STEEL
 STANDARD TYP POST MIN 1.25 LBS/FT. 1-3/8" X 1-3/8" X 1/8"
 MIN. LENGTH = FENCE HEIGHT + POST DEPTH + 1"
 ALL STEEL POSTS WILL HAVE AN ANCHOR PLATE AND BE STUDDED
 ALL STEEL POSTS WILL BE PAINTED WITH A WEATHER RESISTANT PAINT FOR STEEL ENAMELED AND DMCED, OR HOT DIP GALVANIZED
 ALL STEEL POSTS WILL BE ROLLED FROM HIGH CARBON STEEL

NOTES
 BRACES ARE REQUIRED AT ALL CORNERS, GATES, PULL AND END ASSEMBLIES. SEE BRACE DETAILS
 A CORNER OR BRACE ASSEMBLY SHALL BE USED WHEN THE PULL ASSEMBLY CHANGES MORE THAN 15 DEGREES AND A PULL ASSEMBLY SHALL BE USED WHEN THE PULL ASSEMBLY CHANGES MORE THAN 15 DEGREES. A CORNER OR BRACE ASSEMBLY WILL BE USED ONLY WHEN IT WILL NOT AFFECT THE INTEGRITY OF THE FENCE
 PULL ASSEMBLIES SHALL BE INSTALLED AT INTERVALS NOT TO EXCEED 660 FEET. THE CONTINUITY OF THE WIRE SHALL BE INTERRUPTED AT THE PULL ASSEMBLY.
 H-BRACING IS REQUIRED AT ALL PULL ASSEMBLIES AND MUST BE INSTALLED EVERY 660' MAX. SEE BRACE DETAILS.
 TENSION OF FENCE SHOULD BE SET SUCH THAT THE GAG BETWEEN POSTS IS 1 INCH OR LESS

DESIGNED BY	DATE	PROJECT NAME	SCALE
DRAWN BY	DATE	CLIENT	COUNTY
CHECKED BY	DATE	COUNTY	COUNTY
APPROVED BY	DATE	COUNTY	COUNTY

REFER TO W CONSTRUCTION SPEC #10-FENCES FOR MORE SPECIFIC INFORMATION

USDA United States Department of Agriculture
Natural Resources Conservation Service

CLIENT: BROOKS DAIRY
 COUNTY: WAUPACA

DESIGNER: uss
 DRAWN: uss
 CHECKED: uss
 APPROVED: uss

Fence Length = _____ FT.

PROPERTY NAME: 701-4A
 DATE: 7/19

GENERAL REINFORCING/CONCRETE NOTES

1. LAPS SHALL BE CLASSIFIED UNLESS NOTED OTHERWISE ON THE DESIGN DRAWINGS AND THE DETAILER TAKES SPECIAL CARE TO PROVIDE SUFFICIENT LAP LENGTHS FOR ALL HORIZONTAL BARS AND TIE BARS IN SLABS WITH MORE THAN 12" OF CONCRETE BELOW. SEE DETAIL BARS FOR REINFORCING SPACING.
2. LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
3. BAR PLACEMENT TO ENDERS SHALL BE AS SPECIFIED IN THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) MANUAL OF STANDARD PRACTICE, CURRENT EDITION.
4. ALL REINFORCING BARS DIMENSIONS ARE FROM OUT-TO-OUT BAR-TO-BAR, ALL BEND ANGLES ARE AT 45 DEGREE, AND 90 DEGREE, UNLESS NOTED OTHERWISE.
5. ALL JOINTS IN LIQUID RETAINING STRUCTURES SHALL CONTAIN WATER TIGHT JOINTS AT ALL CONSTRUCTION AND CONTRACTION JOINTS. SEE DETAILS 1, 2, & 4-5300.
6. THE READY MIX CONCRETE SUPPLIER SHALL PROVIDE A MIX DESIGN THAT MINIMIZES SHRINKAGE. THIS MIX DESIGN SHALL MINIMIZE THE AMOUNT OF WATER TO 0.45 W/C RATIO, MINIMIZE CONCRETE PASTE, AND USE AGGREGATE OF APPROPRIATE TYPE, SIZE AND GRADATION PER ACI 308 FOR SABS-ON-GRADE AND ACI 309 FOR WALLS & FOOTINGS.
7. WHEN APPLICABLE, GROUT USED TO SEAL AROUND PIPE PENETRATIONS SHALL BE NONSHRINK, NONMETALLIC GROUT WITH A COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN THE COMPRESSIVE STRENGTH OF THE SURROUNDING CONCRETE MEMBER.
8. ALL CONCRETE SUBJECT TO EXTERNAL EXPOSURE SHALL BE AIR ENTRAINED, TOTAL AIR CONTENT OF 6% - 4.1%.
9. UNLESS THE MIX DESIGN INCLUDES THE USE OF SUPERPLASTICIZERS, CONCRETE WITH A SLUMP GREATER THAN 4" SHALL BE RETURNCED CONCRETE WITH APPROVED SUPERPLASTICIZERS SHALL NOT HAVE A SLUMP OF GREATER THAN 4".
10. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.
11. SOME FINE LINE RANDOM SHRINKAGE CRACKS MAY DEVELOP, HOWEVER, REPAIRS SHALL BE MADE AS SOON AS PRACTICABLE. CRACKS ARE EXPECTED TO PERFORM AT A WATER TIGHT LEVEL. LARGER WALL AND FLOOR CRACKS DUE TO IMPROPER MIX DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SUBSTITUTION, DELETION OR MISPLACEMENT OF REINFORCING OR IMPROPER MIX DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. PROVIDE ADDITIONAL DIAGONAL REINFORCING AROUND ALL OPENINGS AND PENETRATIONS THROUGH WALLS AND SLABS. (SEE DETAIL 4-5303)

GENERAL STRUCTURAL FOUNDATION NOTES

1. CONTRACTOR TO COORDINATE STRUCTURAL AND CIVIL PLANS (FOR DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, ETC., NOTIFY ENGINEER OF ANY VIOLANCE BEFORE COMMENCING CONSTRUCTION.
2. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING STRUCTURAL MEMBERS BE MADE, UNLESS APPROVED BY ENGINEER.
3. SIMILAR PORTIONS OF THE STRUCTURE SHALL HAVE SIMILAR DETAILING, UNLESS NOTED OTHERWISE.
4. ALL WALL FORMS SHALL BE KNOCKED OFF FLUSH TO THE FACE OF THE WALL AT INTERIOR AND EXTERIOR FACES OF WALLS AT 12" BELOW THE FINISHED FLOOR AND/OR FINISHED GRADE PROVIDE A LAYER OF DAMPROOFING PRODUCT OVER THE REMOVED AREA, 1/4".
5. ALL FOOTINGS SHALL BEAR ON COMPACTED SOIL HAVING A MINIMUM BEARING CAPACITY EQUAL TO THE NET ALLOWABLE BEARING CAPACITY PER GEOTECHNICAL REPORT.
6. THE ENGINEER SHALL BE NOTIFIED IF ACTUAL FIELD CONDITIONS DO NOT MEET BEARING REQUIREMENTS, OR IF QUESTIONABLE SOIL CONDITIONS ARE OBSERVED INCLUDING BUT NOT LIMITED TO PENY AND OTHER HIGH ORGANIC SOILS OR EXPANSIVE CLAY.
7. DO NOT USE EXCESSIVE COMPACTION EFFORTS ADJACENT TO TANK WALLS. SUCCESSIVE PASSES OF A COMPACTOR CAN RESULT IN WALL PRESSURE BUILD UP BEYOND THE DESIGN INTENT.
8. DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE COMMENCING CONSTRUCTION.
9. REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS FOR REMOVAL OF UNDESIRABLE SOILS, SITE SOIL CLASSIFICATION, EXISTING AND PROPOSED SOILS, AND SOIL STRENGTH INFORMATION. EXISTING AND PROPOSED SOILS SHALL BE MONITORED BY A QUALIFIED GEOTECHNICAL ENGINEER.
10. PROVIDE MINIMUM 12" COMPACTED GRANULAR FILL LAYERS BELOW ALL FOUNDATIONS EXCEPT 12" BEYOND SLABS. PROVIDE ALL DIRECTLY UNDER STRUCTURES AND WITHIN A 10'-0" ZONE OF BEARING, UP TO, AROUND, AND ABOVE PLANNED FOUNDATION GRADES. SEE GEOTECHNICAL REPORT FOR MORE INFORMATION. ADDITIONAL COMPACTED GRANULAR FILL MAY BE REQUIRED IN AREAS OF UNSUITABLE OR SOFT SOILS BELOW STRUCTURAL FOUNDATIONS OR FOOTINGS.

DESIGN STRESSES

CAS-IN-PLACE CONCRETE	
WALLS AND FOOTINGS	FC = 5000 PSI
SLABS-ON-GRADE	FC = 3000 PSI
STEEL	ASTM A601 (F60) GRADE 60
ANCHORS	ASTM A307 (F36) GRADE 36
ANCHOR BOLTS	ASTM A307 (F36) GRADE 36
EXPANSION ANCHORS	ASTM A307 (F36) GRADE 36
GEOTECHNICAL INFORMATION	SEE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC CORPORATION, DATED: JUNE 30, 2022

CONCRETE MIX DESIGN

28 DAY COMPRESSIVE STRESS	LISTED ABOVE
WATER/CEMENT RATIO	0.45
AIR CONTENT % (MIN-MAX)	5.5 - 6.5
AGGREGATE GRAVEL	3/4" OR 1 1/2"

STEEL REINFORCING

MIN CLEAR COVER, LIND	
WALLS & SLABS	
TOP	2"
BOTTOM	2"

DATE: 01/20/2024	SCALE: AS SHOWN	PROJECT: 2022 EQUIP WASTE STORAGE FACILITY
DRAWN BY: [REDACTED]	CHECKED BY: [REDACTED]	DESIGNED BY: [REDACTED]
DATE: 01/20/2024	SCALE: AS SHOWN	PROJECT: 2022 EQUIP WASTE STORAGE FACILITY
DRAWN BY: [REDACTED]	CHECKED BY: [REDACTED]	DESIGNED BY: [REDACTED]

MSA
 ENGINEERING (INCORPORATED) BRANSON
 TOWN OF PLANNING ENVIRONMENTAL
 1715 STATE STREET, BRANSON, MO 64604
 (417) 738-2277
 www.msa-engineering.com

2022 EQUIP WASTE STORAGE FACILITY
 BROOKING FARMS DAIRY, LLC
 WALPACA COUNTY, WI

REVISION NO. 4722000
 SHEET 5/01

STRUCTURAL GENERAL NOTES & DESIGN STRESSES

2M CONCRETE MATERIAL PROPERTIES

2M1 PROVIDE CONTINUOUS WATERSTOPS AT EACH CONSTRUCTION JOINT OF ANY CONCRETE ELEMENT EXPOSED TO SOIL OR WATER. ALL JOINTS CONTAINING WATERSTOPS, INTENTIONALLY ROUGHEN CONCRETE TO 1/4" AMPLITUDE. SEE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

- CM1 PREPARE DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE BY EITHER LABORATORY TRIAL BATCH OR FIELD EXPERIENCE METHODS AS SPECIFIED IN A11.31.
 - A. SLUMP SHALL BE 4" MAXIMUM, 2" MINIMUM FOR WALLS AND FOOTINGS AND 5" MAXIMUM, 3" MINIMUM FOR SUBSONGRADE.
 - B. INCREASE TO 20% FOR TYPE 5 FLY ASH, LOWER THE REST OF PROPORTION DO USE CAUTION IN WINTER MONTHS.
 - C. CONTRACTOR SHALL EXERCISE CARE IN SELECTION OF MIX DESIGN AND CURING METHODS TO AVOID EXCESSIVE AIR ENTRAINMENT AND LOSS OF STRENGTH. AIR ENTRAINMENT SHALL BE AS SPECIFIED IN CLASS PLACEMENT PRACTICES.
 - D. COMPRESSIVE STRENGTH REQUIREMENTS AT 28 DAYS AND THE LOCATIONS OF EACH TYPE OF CONCRETE REQUIRED FOR THIS PROJECT SHALL BE AS NOTED IN DESIGN DATA.

- CM2 PROVIDE NOMINAL WEIGHT CONCRETE WITH MINIMUM CURRD DENSITY OF 145 Pcf, AND NO-CHEMTE DUN DENSITIES TO ASTM C91. UNLESS OTHERWISE NOTED.
- CM3 THE USE OF CALCIUM CHLORIDE AND OTHER CHLORIDE-CONTAINING AGENTS IS PROHIBITED. THE USE OF RECYCLED CONCRETE IS PROHIBITED. PLACEMENT WITHIN AND CONTACT BETWEEN ALUMINUM FORMS, INCLUDING ALUMINUM CONDUIT, AND CONCRETE IS PROHIBITED.
- CM4 CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED, RESULTING IN A TOTAL AIR CONTENT OF 6% ± 1%, A MAXIMUM SLUMP OF 4 INCHES, WITH A W/C RATIO OF 0.46.
- CE-CAST-IN PLACE CONCRETE

- CP1 CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, LATEST EDITION, UNLESS OTHERWISE NOTED. ALL REQUIREMENTS NOT SPECIFIED SHALL BE MODIFIED BY SUPPLEMENTAL REQUIREMENTS CONTAINED IN THE FOLLOWING NOTES.
- CP2 UNLESS OTHERWISE NOTED OR NOTED, REINFORCING SHALL BE IN ACCORDANCE WITH THE ACSI 308 AND ACSI 309.

- CP3 ALL CONCRETE TESTING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER OR AN INDIVIDUAL EMPLOYED BY AGENCY THAT MEETS REQUIREMENTS CONTAINED IN ASTM E838.
- CP4 DESIGN, DETAIL, SUPPORT, BRACE, AND MAINTAIN FORMWORK TO SUPPORT VERTICAL AND INCLINED CONCRETE PLACEMENT. FORMWORK SHALL BE DESIGNED TO SUPPORT THE WEIGHT OF CONSTRUCTION FORMWORK, SO CONCRETE MEMBERS AND STRUCTURES ARE OF CORRECT SIZE, SHAPE, ALIGNMENT, ELEVATIONS AND POSITION.

- CP5 PROVIDE SUPPORTS FOR REINFORCING, INCLUDING BOLSTERS, CHAIRS, SPACERS AND OTHER DEVICES FOR SPACING, SUPPORTING AND FASTENING REINFORCING BARS AND WELLS. WELLS FABRIC IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CONCRETE REINFORCING STEEL INSTITUTE (CRSI) RECOMMENDATIONS, UNLESS OTHERWISE APPROVED.
- CP6 COLD WEATHER PLACING: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH, WHICH COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES IN CONCRETE. PROVIDE PROTECTION AGAINST FROST AND FREEZING BY USE OF CALCIUM CHLORIDE, SALT AND OTHER MATERIALS CONTAINING ANTIFREEZE AGENTS.

- CP7 HOT WEATHER PLACING: WHEN HOT WEATHER CONDITIONS EXIST THAT WOULD SERIOUSLY IMPAIR QUALITY AND STRENGTH OF CONCRETE, PLACE CONCRETE IN COMPLIANCE WITH ACI 303.
- CP8 PROVIDE CONCRETE MIX DESIGN AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94.
- CP9 PROVIDE CONCRETE FINISHES THAT CONFORM TO THE ARCHITECTURAL REQUIREMENTS OF THE PROJECT. FOLLOW PROCEDURE CONTAINED IN PARAGRAPH 3.3.4 OF ACI 301.

2M10015 AND WATER STOPPING

2M10015 PROVIDE CONTINUOUS WATERSTOPS AT EACH CONSTRUCTION JOINT OF ANY CONCRETE ELEMENT EXPOSED TO SOIL OR WATER. ALL JOINTS CONTAINING WATERSTOPS, INTENTIONALLY ROUGHEN CONCRETE TO 1/4" AMPLITUDE. SEE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

PROJECT DATE	ISSUED	REVISION	DATE	BY	REVISION


MSA
 ENGINEERING ARCHITECTURE SURVEYING
 PLANNING PLANNING SURVEYING
 CONSULTING ENGINEERS ARCHITECTS
 1000 W. WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.224.1200 FAX: 414.224.1201
 WWW.MSAENGINEERS.COM

2022 EQUIP WASTE STORAGE FACILITY
 BROOKS FARMS DAIRY, LLC
 WAUPACA COUNTY, WI

STRUCTURAL SPECIFICATION SHEET
 PROJECT NO. 21720002
 SHEET 51/54

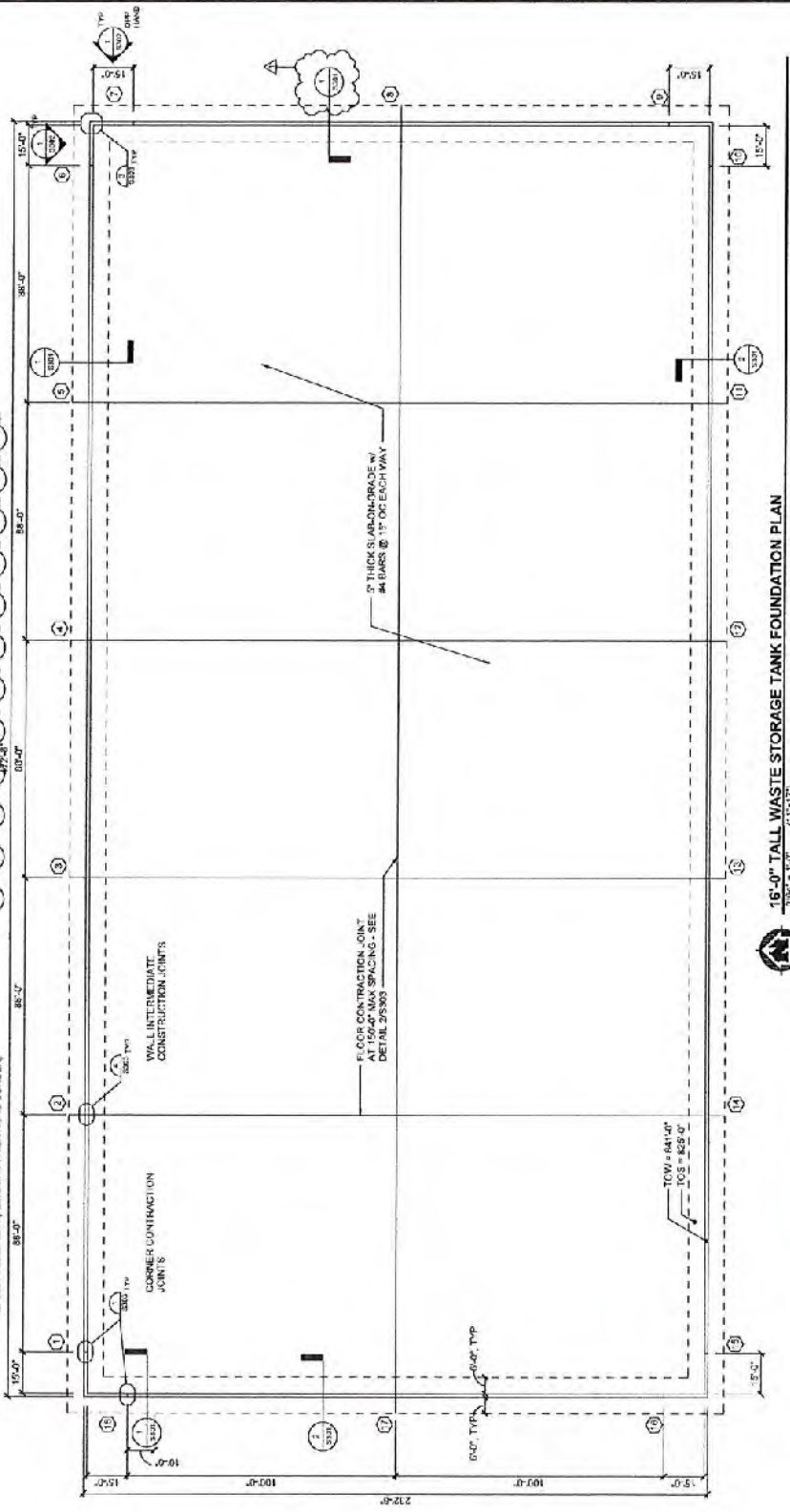
GENERAL NOTES

1. VEHICULAR SURGRADE WITH COMPACTED SUBGRADE IS CAPABLE OF SUPPORTING A BEARING PRESSURE OF 5000 PSF & A SURGRADE MODULUS OF 100,000 PSI. ALL SURGRADES SHALL BE MINIMUM 6" THICK OF CLEAN SAND OR 3/4" CRUSHED STONE. ALL SURGRADES SHALL BE COMPACTED GRANULAR SUBBASE UP TO 10" THICK SHOULD SUBGRADE MODULUS RANGE BETWEEN 100 TO 200 PCL.
2. ALL CONCRETE SHALL BE 4000 PSI UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL ENSURE THE WORKING JOINTS OF WALLS AND JOINTS BY PROPER INSTALLATION AND DETAILING OF WATERSTOPS.
4. CONCRETE SHALL BE READY BIDDY COMPRESSIVE STRENGTH PRIOR TO FIELD VIBRY ALL FIELD LOCATIONS WITH COVER PRIOR TO CONSTRUCTION.
5. PENETRATION IN WALLS AND SLABS BETWEEN TYPICAL REINFORCING BARS WHERE POSSIBLE PROVIDE ADDITIONAL DIAGONAL REINFORCING BARS. PROVIDE REINFORCING BARS THROUGH WALLS AND SLABS - SEE OPENING DETAIL 452020.

GENERAL DESIGN LOADS AND ASSUMPTIONS

- TANK TYPE: RECTANGULAR
- DESIGN AND 316 COMPLIANT LIDS NOT MEET THE REQUIREMENTS OF PROTECTION FOR DEGRADED CONCRETE, GROUNDWATER RESOURCES AND RISK FACTORS AS DESCRIBED IN AGRICULTURAL WASTE MANAGEMENT FIELD AND/OR (WATER) TANKS.
- WALLS DESIGNED FOR LARDED HEIGHT UNSATURATED BACKFILL WITH EMPTY TANK FULL LIQUID WITH NO BACKFILL AND STACKED FEED GRADES & JOINTS WITH EMPTY TANK.
- STRAIGHT CANTILEVERED WALLS - BESS LOADING CONDITIONS SHALL BE USED FOR ALL WALLS. ALL WALLS SHALL BE DESIGNED FOR SUOYANCY, WIND AND WAVE LOADS ON EXTERIOR WALLS AND TOP & JOINT EDGE FREE. ALL OTHER WALLS ARE DESIGNED AS BASE WALLS.
- LOADS:
- SOIL BEARING PRESSURE: 5,000 PSF.
 - EXTERNAL PRESSURE FROM BACKFILL: 115 PCF UNIT WEIGHT * 230 PSF SURCHARGE PRESSURE FROM LIQUID (PER WES CODE 316) 61 PSF/FT. HORIZ. SANGALDEN.
 - EXTERNAL PRESSURE FROM FEED: 45 PCF UNIT WEIGHT
 - IMPACT LOAD: 10 K (ASSUMED FRONT-END LOADER).

- REINFORCING BARS WITH RETAINED SOIL HEIGHT GREATER THAN 7 FT AT ALL CORNER WALLS. REINFORCING DESIGN PER SECTION 15301 APPLIES FOR 10'4" FROM NORTH CORNER JOINT ON WEST WALL. VERIFY RETAINED SOIL HEIGHT WITH SITE PLAN.
- REINFORCING BARS WITH RETAINED SOIL HEIGHT GREATER THAN 7 FT AT ALL CORNER WALLS. REINFORCING DESIGN PER SECTION 15301 APPLIES FOR 10'4" FROM NORTH CORNER JOINT ON WEST WALL. VERIFY RETAINED SOIL HEIGHT WITH SITE PLAN.
- REINFORCING DESIGN PER SECTION 15301 & ELEVATION 15302 SHALL BE USED FOR 10'4" FROM NORTH CORNER JOINT ON WEST WALL. VERIFY RETAINED SOIL HEIGHT WITH SITE PLAN.
- REINFORCING DESIGN PER SECTION 15301 & ELEVATION 15302 SHALL BE USED FOR 10'4" FROM NORTH CORNER JOINT ON WEST WALL. VERIFY RETAINED SOIL HEIGHT WITH SITE PLAN.
- REINFORCING DESIGN PER SECTION 15301 & ELEVATION 15302 SHALL BE USED FOR 10'4" FROM NORTH CORNER JOINT ON WEST WALL. VERIFY RETAINED SOIL HEIGHT WITH SITE PLAN.



MSA
 ENGINEERING AND ARCHITECTURE
 1500 WEST HANCOCK STREET, SUITE 100
 WAUPACCA, WI 53091
 (262) 791-1111
 www.msa-engineers.com

2022 EQUIP WASTE STORAGE FACILITY
 BROOKS FABRIC DUFFY, LLC
 WAUPACCA COUNTY, WI

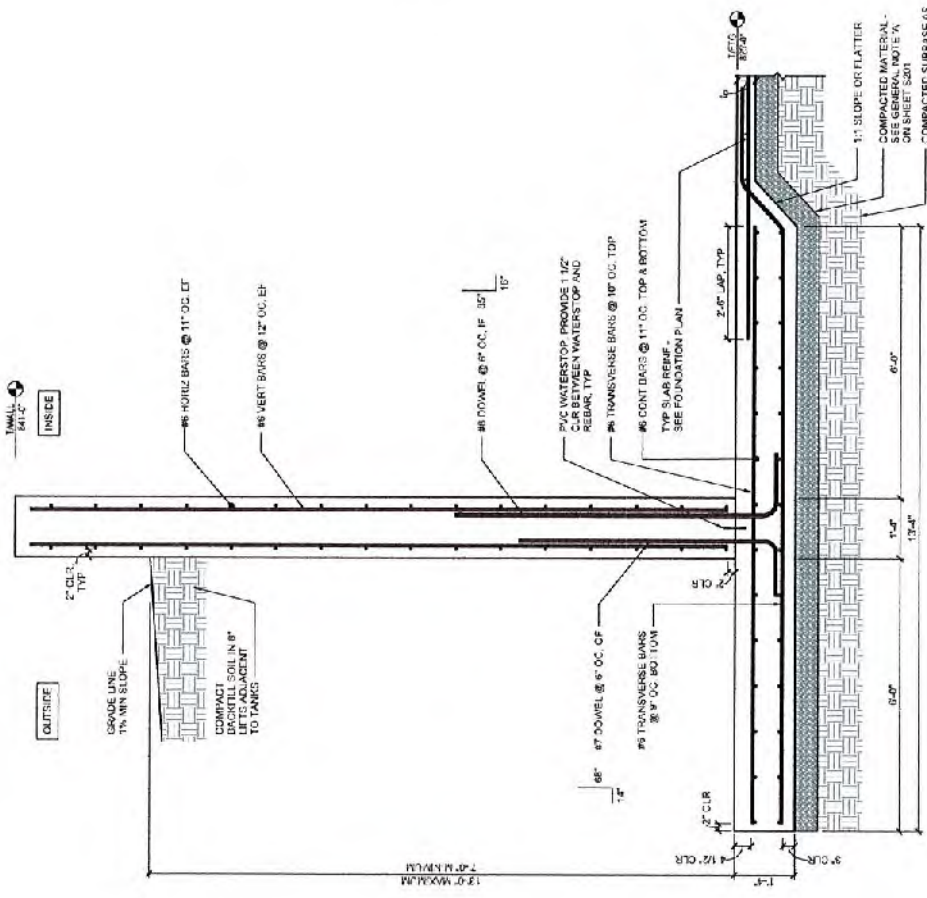
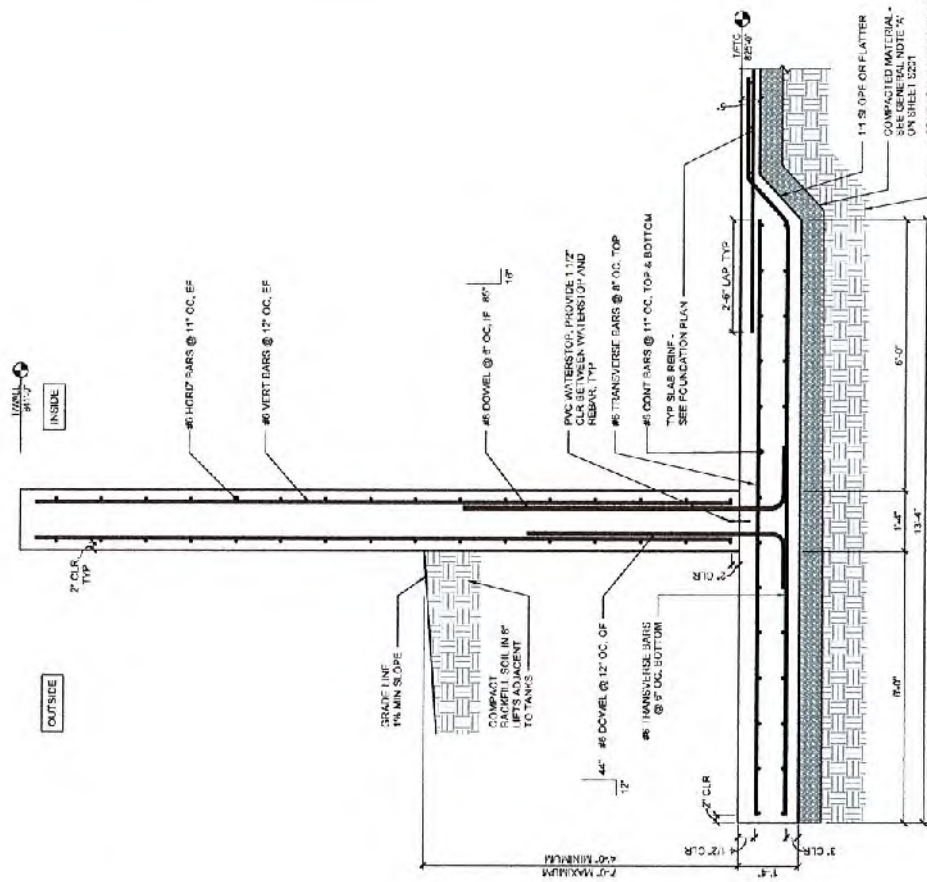
16'-0" TALL WASTE STORAGE TANK FOUNDATION PLAN

NO.	DATE	BY	REVISION
1	08/14/23	MSA	ISSUED FOR PERMIT

SCALE: 1/8" = 1'-0"	PROJECT NO. 21720000
DATE: 08/14/23	SHEET NO. 5/201

WASTE STORAGE TANK FOUNDATION PLAN

SCALE: 1/8" = 1'-0"
 21720000
 SHEET
 5/201



2. TANK WALL SECTION w/ RETAINED SOIL HEIGHT BETWEEN 4' & 7'

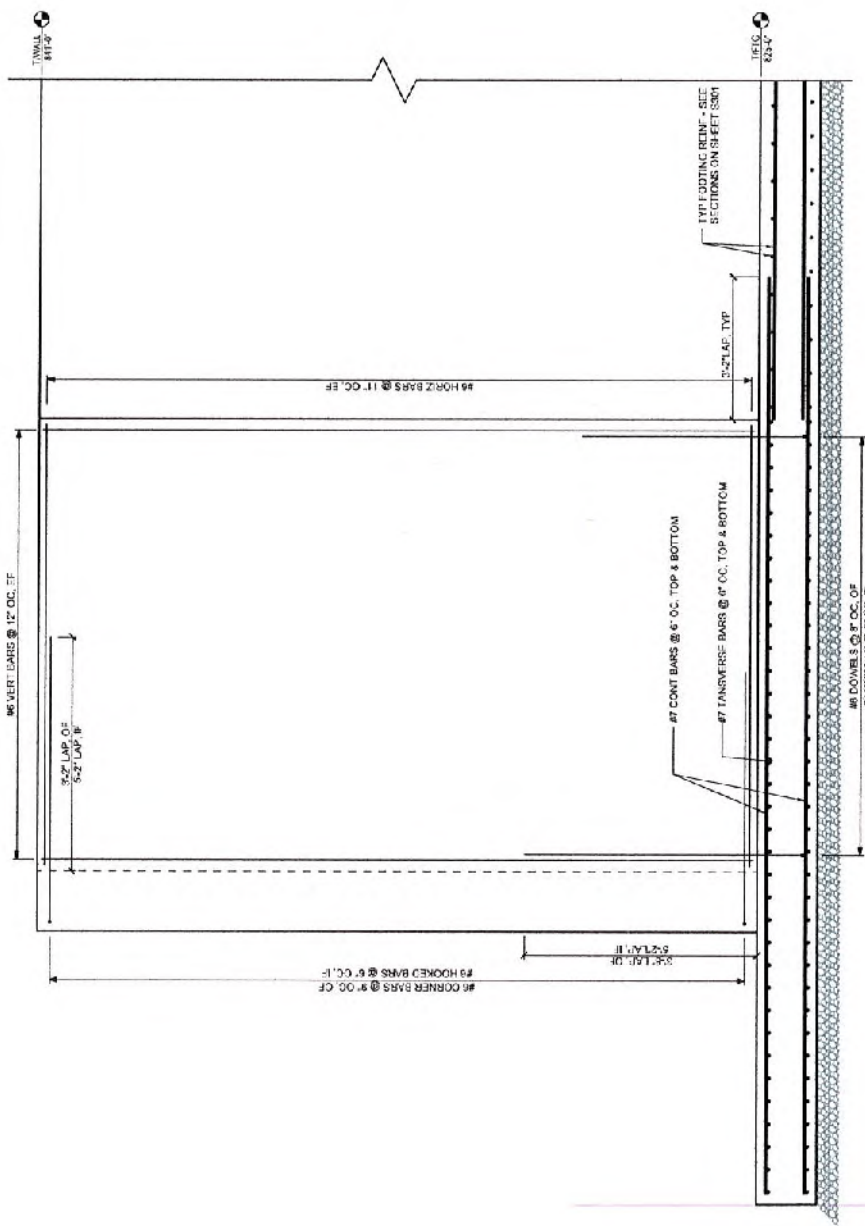
TANK WALL SECTION w/ RETAINED SOIL HEIGHT BETWEEN 13' & 7'

<p>ENGINEERING (ARCHITECTURE) SERVICES PLANNING (ENVIRONMENTAL) CONSULTING (LANDSCAPE ARCHITECTURE) 401 W. 10TH ST. MILWAUKEE, WI 53233</p> <p>MSA</p>		<p>2022 EQIP WASTE STORAGE FACILITY BROOKS FARMS DAIRY, LLC WALUPAGA COUNTY, WI</p>		<p>WASTE STORAGE TANK SECTIONS</p>	
<p>DATE: 8/14/23 DRAWN BY: MJE CHECKED BY: MJE</p>	<p>SCALE: AS SHOWN</p>	<p>PROJECT NO: 21720000</p>	<p>DATE: 8/14/23</p>	<p>PROJECT NO: 21720000</p>	<p>DATE: 8/14/23</p>

1:1 SLOPE OR FLATTER
 COMPACTED MATERIAL -
 SEE GENERAL NOTE 'A'
 ON SHEET S201
 COMPACTED SUBBASE AS
 APPROVED BY SITE
 ENGINEER. CAPABLE OF
 3,000 PSF ALLOWABLE
 SOIL BEARING PRESSURE.

11" @ 0' ON FLATTER
 COMPACTED MATERIAL -
 SEE GENERAL NOTE 'A'
 ON SHEET S201
 COMPACTED SUBBASE AS
 APPROVED BY SITE
 ENGINEER. CAPABLE OF
 3,000 PSF ALLOWABLE
 SOIL BEARING PRESSURE.

AUG 14 2023



TYPICAL CORNER ELEVATION
 SEE 306 - 1/2\"/>

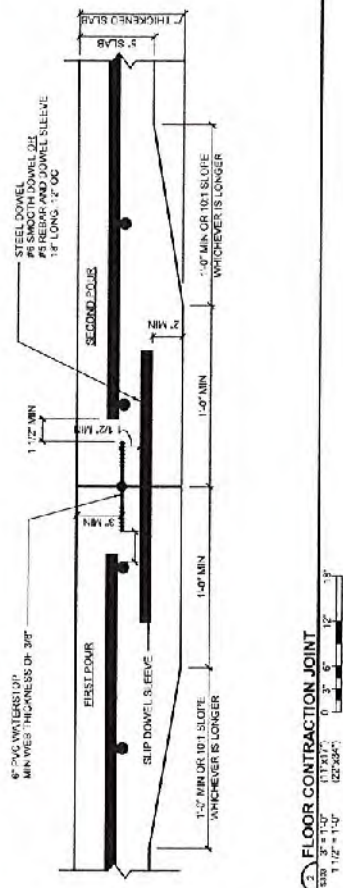
NO.	DATE	BY	CHK	DESCRIPTION
1	08/14/23	MSA	MSA	ISSUED FOR PERMIT
2	08/14/23	MSA	MSA	REVISED PER COMMENTS
3	08/14/23	MSA	MSA	REVISED PER COMMENTS

MSA
 ENGINEERING (INCORPORATED) SURVEYING
 1700 S. HUNTERS LANE, SUITE 100
 WAUPACA, WI 54981
 (920) 826-3377
 www.msa-engineering.com

2022 EQIP WASTE STORAGE FACILITY
 BROOKS FARMS DAIRY, LLC
 WAUPACA COUNTY, WI

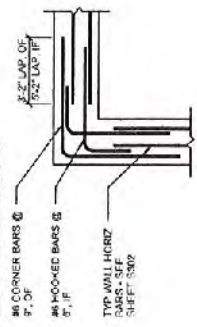
WASTE STORAGE TANK ELEVATIONS

PROJECT NO.
21720000
 SHEET
55/62

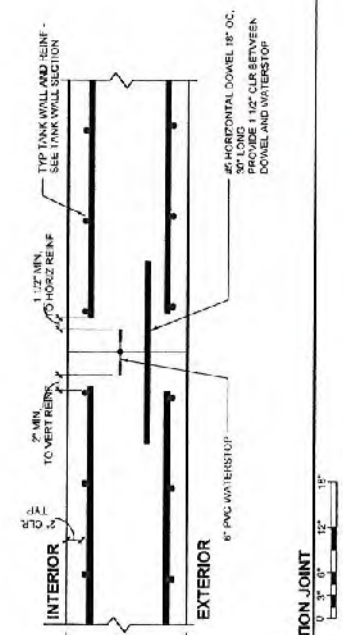


1. WALL CONTRACTION JOINT
 530 1 3/4" (37.5mm) 0 3" 0" 12" 18"
 3/4" (19.0mm) 0 3" 0" 12" 18"
 530 3/4" (19.0mm) 0 3" 0" 12" 18"

NOTE: VERTICAL REINFORCEMENT NOT DEPICTED FOR CLARITY

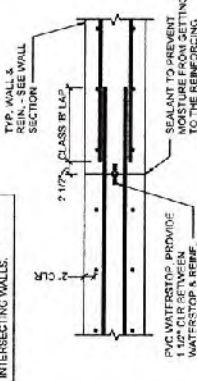


2. CORNER REINFORCING DETAIL
 530 NONE

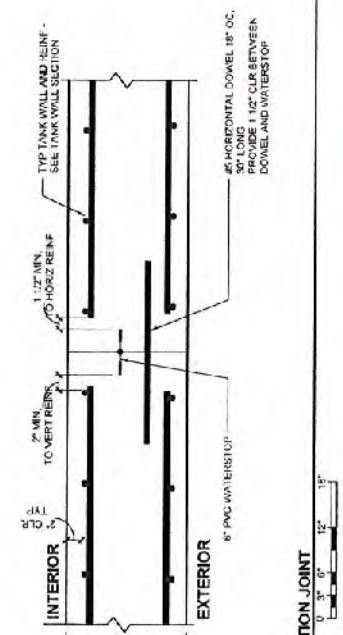


3. WALL CONSTRUCTION JOINT
 530 NONE

NOTE: CONSTRUCTION JOINTS SHALL NOT BE PLACED WITHIN 5 FT OF INTERSECTING WALLS.



4. TYPICAL WALL REINFORCING SPICE DETAIL
 530 NONE



5. FLOOR CONTRACTION JOINT
 530 1 1/2" (38.1mm) 0 3" 6" 12" 18"
 1 1/2" (38.1mm) 0 3" 6" 12" 18"

NOTE: TYPICAL REINFORCING SIMILAR AT RECTANGULAR OPENINGS, UNLESS NOTED OTHERWISE.



6. DIAGONAL REINFORCING AT CONCRETE WALL AND SLAB OPENINGS
 530 NONE

BAR SIZE	SPICE LENGTH
#40	18"
#50	20"
#60	24"
#70	30"
#80	45"

* LAP STAGGER TO BE GREATER OF 2X 2 SPICE LENGTH - SEE SCHEDULE ABOVE.

PROJECT NO.	21720000	DATE	5/20
WASTE STORAGE TANK STRUCTURAL DETAILS			
2022 EQIP WASTE STORAGE FACILITY		BROOKS FARMS DAIRY, LLC WAUPACA COUNTY, WI	
ENGINEER	DATE	BY	CHKD
DESIGNER	DATE	BY	CHKD
DRAWN BY	DATE	BY	CHKD

(1) A long term lease agreement duration shall be no less than the time that the horses are present on any of the parcels approved through the Conditional Use Permit. If a long term lease agreement becomes invalid the Conditional Use Permit shall be reviewed by the Planning and Zoning Committee. If sufficient acreage is not available at the time of the review either through ownership or additional long term lease agreement the Planning and Zoning Committee shall revoke the Conditional Use Permit approval.

d. For horse keeping, property owners must provide a shelter for horses with a minimum of three (3) walls and a roof.

3. Agriculture-Related Use: An agricultural equipment dealership, facility providing agricultural supplies, facility for storing, handling, marketing or processing agricultural products, slaughtering livestock, facility for processing agricultural by-products or wastes, and any other use that the Department of Agriculture, Trade, and Consumer Protection, by rule, identifies as an agriculture-related use.

a. Examples of such uses include, but are not limited to, agricultural implement sales, storage, and/or repair operations; feed and seed stores; agricultural chemical dealers and/or storage facilities; animal feed storage facilities, except those accessory to an "agricultural use"; commercial dairies; food processing facilities; micro and nano breweries and micro and nano wineries where the farm is the primary source of ingredients, licensed farm auction operations; garden centers and orchard stores; farmer's markets; canning and other food packaging facilities; agricultural waste and by-product disposal facilities, except those accessory to an "agricultural use"; sawmills; de-barking operations; and chipping facilities. Not included within this land use category are plants intended to convert agricultural products to energy on a large-scale basis.

b. Agriculture Related Uses may include incidental long term outdoor display of items offered for sale as part of the approved use.

c. Required parking is one (1) space per employee on the largest work shift or one (1) space for every two hundred (200) square feet of product display area, depending on the specific land use type.

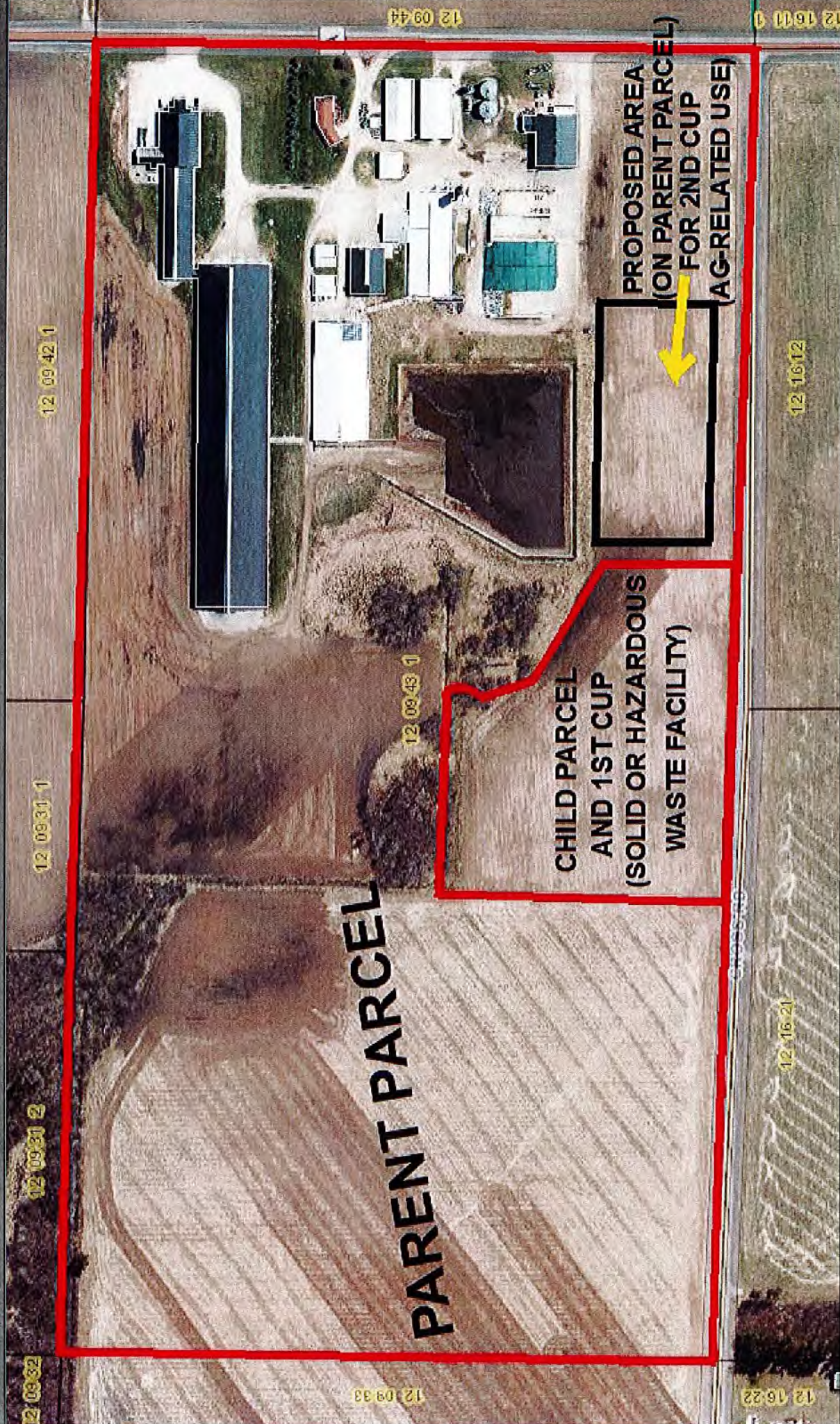
d. Farm equipment sales, service and repairs shall be conducted on a site of no less than twenty thousand (20,000) square feet. All storage of equipment shall be at least one hundred (100) feet from highways or roads and at least two hundred (200) feet from any residential property. If the Planning and Zoning Committee deems the operations will take on characteristics of a junkyard, it may require a hedge planting of sufficient size to screen the area from the public right-of-way.

4. On-Site Agricultural Retail: Land uses that include operations associated with the sale of agricultural products grown exclusively on the site or exclusively by the farm operator. Consolidation of sales from nearby farms and farm operators on a participating farm parcel may be considered as a conditional use. Considerations will at a minimum include the size of the operation, traffic and access, and parking availability.

Packaging and equipment used to store, display, package, or carry products for the convenience of the operation or its customers, such as egg cartons, baskets, containers, and bags, shall be produced off-site.

Table 5.1 (continued)	Zoning Districts ¹⁰						Land Use Definition and Requirements (Section #)
	Conservancy District ³	Private Recreation and Forestry	Agriculture Enterprise	Agriculture Retention	Rural Residential - Overlay	Rural Commercial - Overlay	
Land Uses	CV	PVRF	AE	AR	RR-O	RC-O	
INDUSTRIAL LAND USES							6.7
Light Industrial							2
Contractor Shop ⁴		C	C	C		C	4
Mineral Extraction (Non-Metallic) ⁶		C	C	C			6
Salvage Yard							8
PUBLIC / INSTITUTIONAL LAND USES							6.8
Community Living Facility - 9 to 15 Residents ⁵		C	C	C			2
Outdoor Institutional ⁵		C	C	C	C	p ¹	4
Minor Indoor Institutional ⁵		C	C	C	C	p ¹	6
Public Service and Utility ⁸		C				C	8
Large Solar Energy Systems ⁴		C	C	C		C	10
PARK / RECREATION LAND USES							6.9
Outdoor Recreation - Active ⁵		C			C	C	2
Special Events (200 people or less)		P	P	P	P	P	4
Campgrounds and Camping Resorts ⁷		C		C			5
OPEN LAND / AGRICULTURE USES							6.10
Agriculture - Animal Husbandry	p ⁹	P	P	P	C ³		2
Agriculture - Plant Production		P	P	P			3
On-site Agricultural Retail		P	P	P			4
Outdoor Storage of Motor Vehicles, Farm Machinery and Collectibles		C	C	C			6
Farm Residences		P	P	P			8
Forestry Management	p ⁹	P	P	P	P		10
¹ Permitted use subject to site plan review as outlined in Section 10.0 ² Mobile Service Facilities & Support Structures - New Structures and Class 1 Collocations require a Conditional Use Permit and Class 2 Collocations require a Land Use Permit as outlined in Chapter 48 Mobile Service Facilities & Support Structures Ordinance ³ See Section 6.10.2 for permitted animal units within non-farm residential lots ⁴ Conditional use Permit shall be compliant with Wis Stats 91.01(1) ⁵ Conditional use Permit shall be compliant with Wis Stats 91.46(5) ⁶ Conditional use Permit shall be compliant with Wis Stats 91.46(6) ⁷ Open Space Use Only, unless there are permanent structures and for public use then compliant with 91.46(5) ⁸ Conditional Use Permits shall be compliant with Wis Stats 91.46(4) ⁹ No Structures allowed as per Section 6.10 ¹⁰ Accessory Structures are permitted in all zoning districts, except the Conservancy District, as set forth in Sec. 2.15. ¹¹ Conditional Use Permits shall be compliant with Wis Stats 91.46(1)							

PROPOSED USE: AGRICULTURE-RELATED USE ON SOUTHEAST CORNER OF PARENT PARCEL



8/23/2023, 9:26:11 AM

To Order Maps Or To Report A Problem Visit:
www.co.waupaca.wi.us/departments/and_information/index.php
Map Key

Facilities - Building (2018 LiDAR)

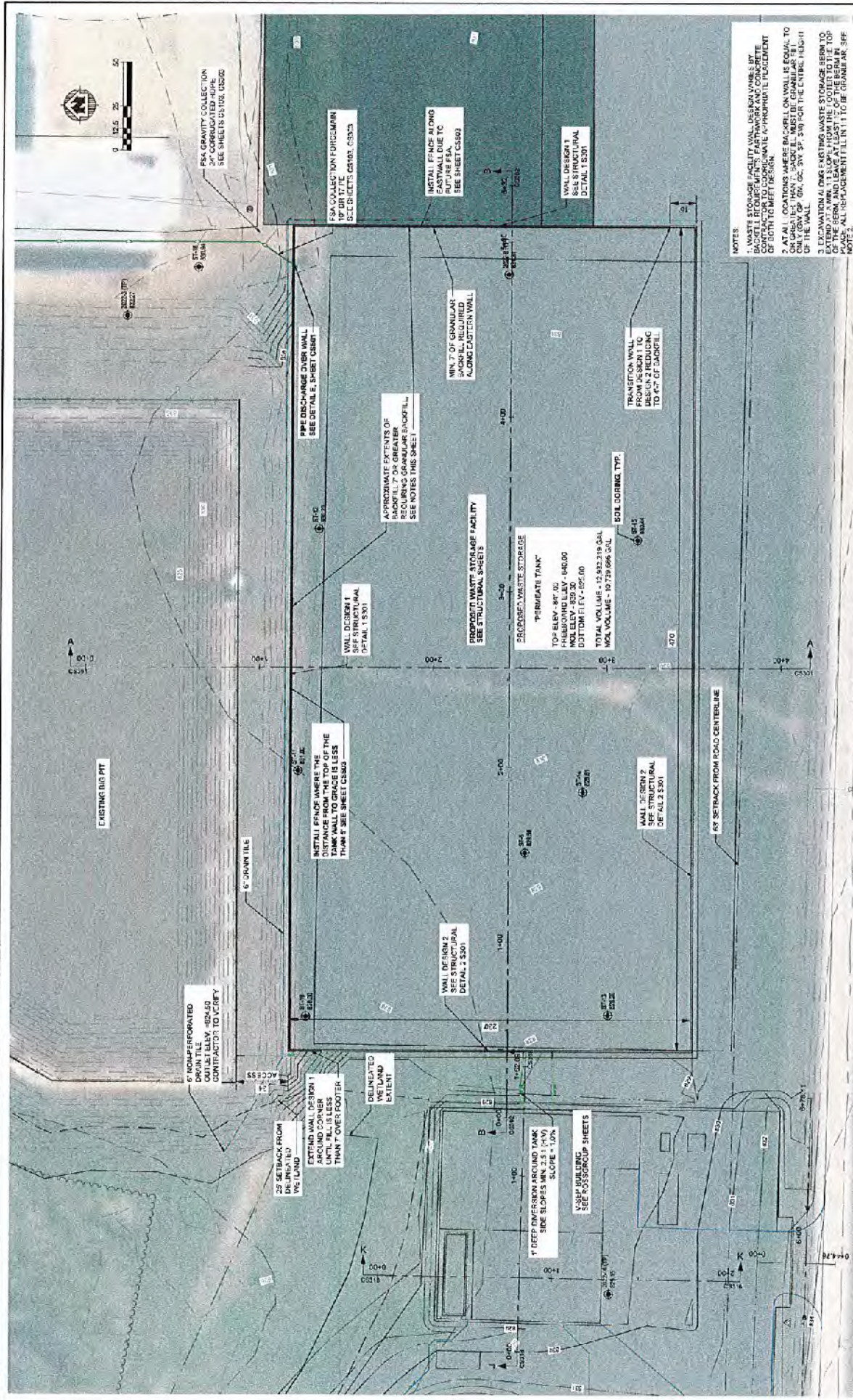
- Zoning Collector GPS
- Parcel Numbers

Map Data Sources --> Waupaca County Land Information



ATTENTION!

GIS TAX PARCEL MAPS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT INTENDED TO REPRESENT EVIDENCE IN TITLE. THE REPRESENTATIONS ON THESE MAPS COULD IN FACT BE IN ERROR AND SHOULD NOT BE RELIED UPON AS THE SOLE DETERMINING FACT OR IN THE LOCATION OF ANY GIVEN PARCEL. WAUPACA COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES CONTAINED HEREIN. INDIVIDUALS SHOULD CONSULT LEGAL REPRESENTATION OR PROFESSIONAL SURVEY ADVICE TO OBTAIN RM



NOTES

1. WASTE STORAGE FACILITY WALL DESIGN VARIES BY BASKET REQUIREMENT, PARTWORK AND CONCRETE TYPE. PROVIDE APPROPRIATE PLACEMENT OF BASKETS TO MEET DESIGN.
2. AT ALL LOCATIONS WHERE BACKFILL WALL IS EQUAL TO OR GREATER THAN 1' RADIAL, BASKET GRANULAR FILL OF THE WALL. GR. 0% SW 3% SW FOR THE ENTIRE HEIGHT.
3. EXCAVATION AND EXISTING WASTE STORAGE BERM TO EXTEND AT A MIN. 1' SLOPE FROM THE FOOTER TO THE TOP OF THE WALL. GRANULAR FILL SHALL BE PLACED IN PLACES ALL REPLACEMENT FILL IN 1' TO BE GRANULAR. SEE NOTE 2.

<p>2022 EQUIP WASTE STORAGE FACILITY BROOKS FARMS DAIRY, LLC WILUPACKA COUNTY, WI</p>		<p>DATE: 08/14/23 SHEET: 21752002 CS-02</p>
<p>ENGINEER: MSA REGISTERED ARCHITECTURE / ENGINEERING 1000 W. WATSON ST. WILUPACKA, WI 53191 (262) 355-2771 www.msa-engineers.com</p>		<p>PROPOSED WASTE STORAGE PLAN</p>
<p>SCALE: 1" = 40'-0"</p>	<p>DATE: 08/14/23</p>	<p>PROJECT: 21752002</p>
<p>DESIGNED BY: [Name]</p>	<p>CHECKED BY: [Name]</p>	<p>DATE: 08/14/23</p>